



FREDERICK COUNTY GOVERNMENT

DIVISION OF PLANNING & PERMITTING

Livable Frederick Planning & Design Office

Jan H. Gardner
County Executive

Steven C. Horn, Division Director
Kimberly Golden Brandt, Director

FREDERICK COUNTY HISTORIC PRESERVATION COMMISSION

STAFF REPORT

August 4, 2021

Address: 1320 Old National Pike, Middletown **Meeting Date:** August 4, 2021

Applicant: Mark Lancaster **Report Date:** July 17, 2021

Case No.: BOA A/P# B265250 **Staff:** Amanda Whitmore

Proposal: Add one-story addition to rear

PROPERTY DESCRIPTION

The Adam Koogle House is located east of the intersection of Old Hagerstown Road and Old National Pike, one mile west of Middletown. The property includes a circa 1830 brick house, a brick outbuilding dating to the same period, and a three-bay garage built over 20 years ago.



Fig. 1: Subject property.

Frederick County: Rich History, Bright Future

30 North Market Street, Frederick, MD 21701 • 301-600-1138 • Fax 301-600-1645
www.FrederickCountyMD.gov

PROPOSAL

The applicant was granted a special exception under the Frederick County zoning code to convert the 1830 residence into office uses in the 1990s. That section of the zoning code was amended in 2000 to integrate the Frederick County Historic Preservation Commission into the monitoring of changes to historic properties and to require the property become designated to the County Register of Historic Places.

The applicant is seeking to build a one-story addition to the rear of the brick house and is subject to the amended zoning code, Chapter 1.19.8.600. The proposed addition would encompass the existing circa 1950 rear addition, reconfiguring the existing kitchen and laundry and adding an enclosed lounge area. A shed roof would extend over a portion of the addition with a gable roof over the lounge area. An exterior, stone- veneered chimney is centrally located on the north elevation. Both roofs are proposed to be covered in standing seam roofing. Windows are proposed to be paired windows with a single light in each sash. The proposed doors are one light doors that fill the entire door. A transom is located above each doorway. A stone veneer base extends from the ground to below the windows. The exterior wall cladding is not depicted. A trellis is proposed to be installed over the eastern elevation entryway.

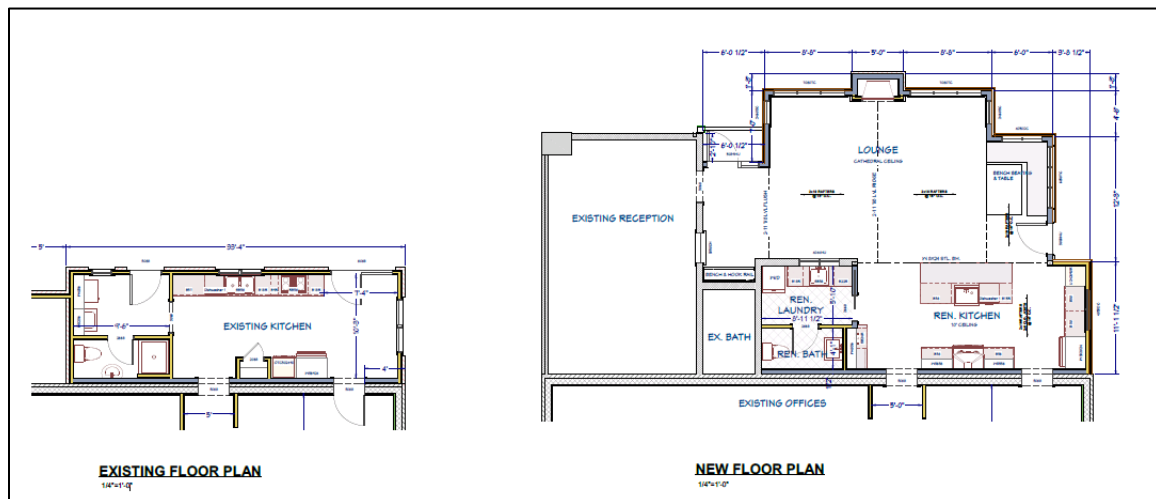


Fig. 2: Existing Floor Plan and Proposed New Floor Plan

STAFF DISCUSSION

Per Chapter 1.19.8.600 of the Frederick County Code, *all requests for special exception under this section [to the Board of Appeals] shall be referred to the Frederick County Historic Preservation Commission for determination of eligibility for placement on the Frederick County Register of Historic Places, and for review and comment.* The applicant submitted an application to the Board of Appeals to build the one story rear addition to the house. The applicant is not currently designated to the County Register of Historic Places, however, a recommendation to nominate the property is being sought by the applicant.

The review and comments by the Commission regarding the proposed addition is not a Certificate of Appropriateness (COA) review. The comments from the Commission will be forwarded to the Board of Appeals to be considered with their review. Once the property has been designated to the County Register, the applicant will need to file a COA application with the Commission for any proposed exterior changes, including the proposed addition, prior to any building permits being issued.

In reviewing the proposed addition, the Commission should utilize the *Frederick County Register of Historic Places Design Guidelines (Guidelines)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. Specifically they would look to Standards number 9 and 10:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed addition is located to the rear of the property and is inset 3' 8 ½" from the existing circa 1950 addition. The proposed addition will extend 12' 3" off the existing rear addition. Because the property is located at an intersection, the rear of the property is visible from both Old Hagerstown Road and Old National Pike. The addition will be attached to the existing addition that has no significance to the property and will cover a portion of the rear two-story wing. The proposed gable roof will reach the second story of the main block but the peak will not extend above the roof cornice.

Staff finds that the proposed addition would be appropriate and compatible to the massing, size, scale, and architectural features of the historic house with the following changes:

- a. The windows should not be paired together but spaced individually so that they match the rhythm of the existing windows.
- b. The windows should have multiple, true divided lights.
- c. The height of the stone veneer base should be lowered so that it does not reach the bottom of the window openings. It should match the overall heights of the stone foundation on the exiting house.
- d. The exterior wall cladding should be smooth cement boards.
- e. The doors should not contain full lights but be compatible with the existing doors.

- f. Vegetation to partially screen the addition from being highly visible from Old Hagerstown Road and Old National Pike should be installed.

Staff further finds that the proposed new addition does not destroy historic materials that characterize the property and that the addition would be undertaken in such a manner that the essential form and integrity of the historic property would be unimpaired.

STAFF RECOMMENDATION

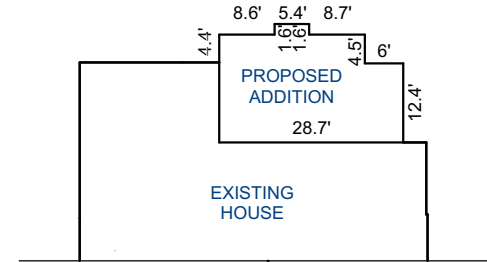
Staff recommends the Commission **support** forwarding these comments to the Board of Appeals having found that the proposal will not destroy historic materials that characterize the property and that the addition would be undertaken in such a manner that the essential form and integrity of the historic property would be unimpaired, and that the proposal would meet the *Secretary of the Interior's Standards for Rehabilitation* #9 and #10 with the following conditions:

- a. The windows should not be paired together but spaced individually so that they match the rhythm of the existing windows.
- b. The windows should have multiple, true divided lights.
- c. The height of the stone veneer base should be lowered so that it does not reach the bottom of the window openings. It should match the overall heights of the stone foundation on the exiting house.
- d. The exterior wall cladding should be smooth cement boards.
- e. The doors should not contain full lights but be compatible with the existing doors.
- f. Vegetation to partially screen the addition from being highly visible from Old Hagerstown Road and Old National Pike should be installed.

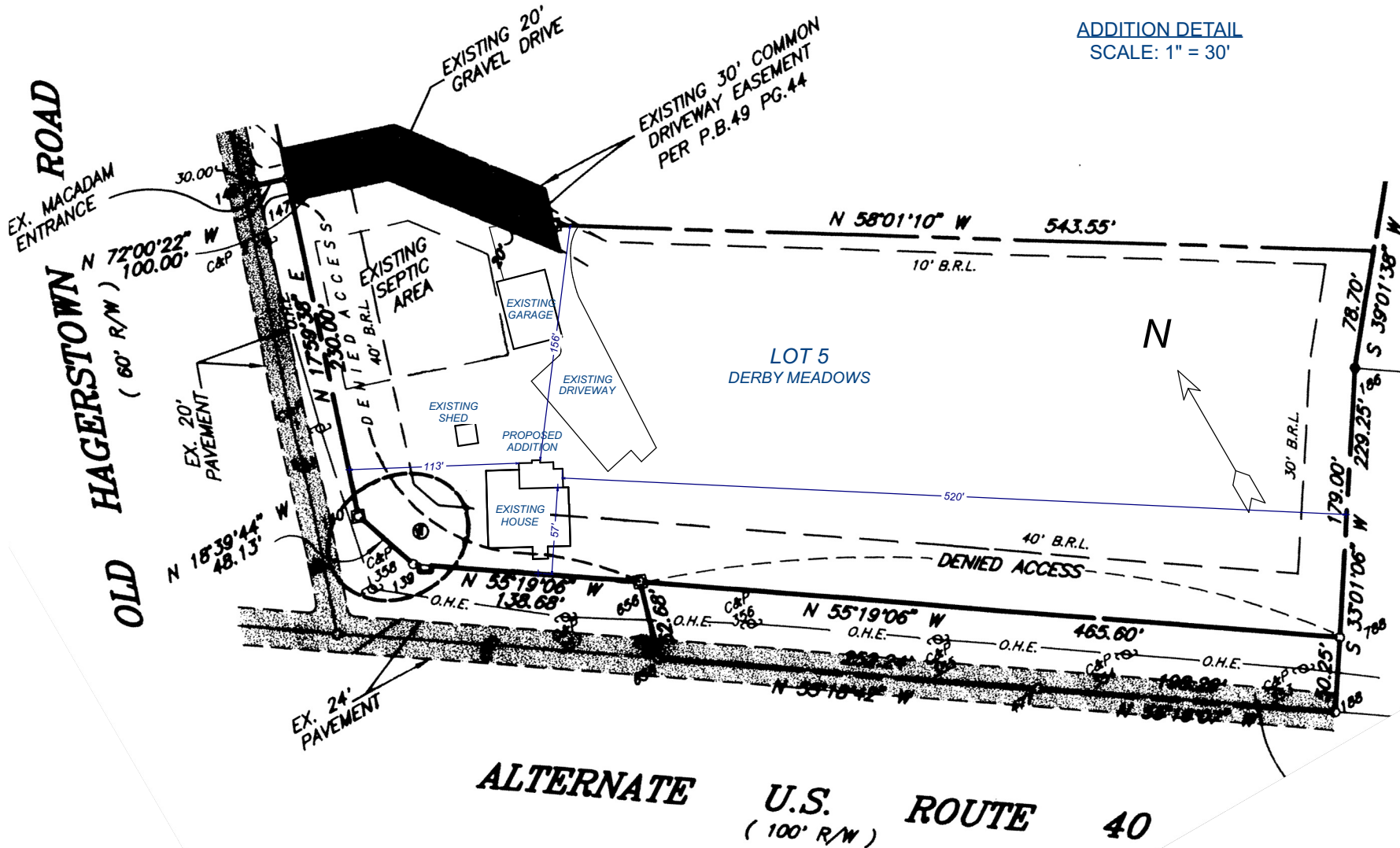
Included with the support is the condition that the applicant will return to the Historic Preservation Commission to receive a Certificate of Appropriateness for the proposed addition with the above comments reflected, prior to the submission of any building permits.

Contractor & Property:
Lancaster Craftsmen Builders
3120 Old National Pike
Middletown, MD 21769
(301) 371-9101

Scale: 1" = 100'



ADDITION DETAIL
SCALE: 1" = 30'



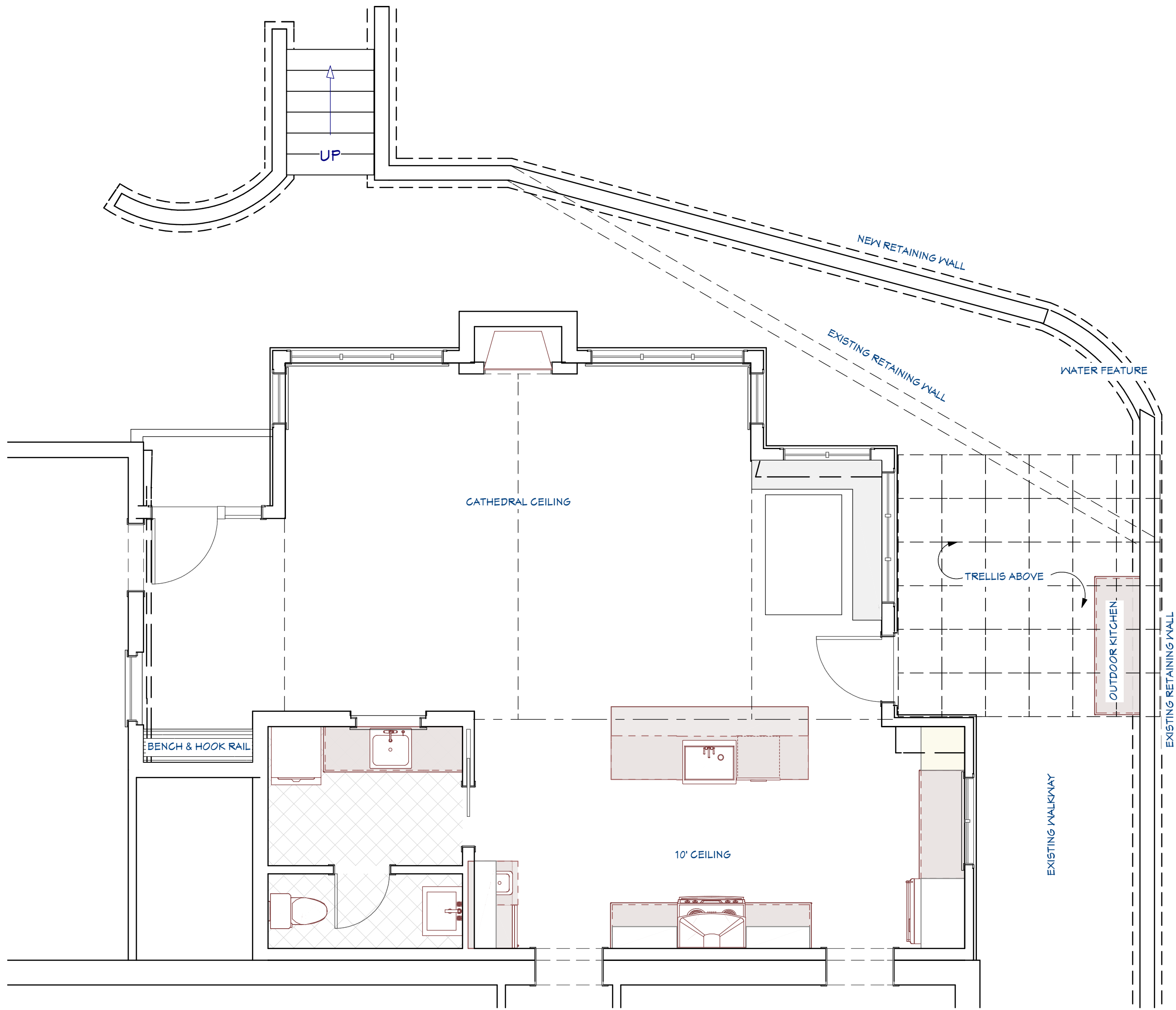


REAR ELEVATION

EXISTING FLOOR PLAN

NEW FLOOR PLAN

DF 2



LANDSCAPE RETAINING WALL LAYOUT

1/4"=1'-0"

GENERAL NOTES AND SPECIFICATIONS

BUILDING CODES:

- 1. ALL CONSTRUCTION SHALL CONFORM WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. (IRC-2015)
- 2. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES.

DESIGN LOADS:

- 1. THE DESIGN DEAD LOADING FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE SPECIFICATIONS.
- 2. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LIVE LOAD (U.N.O.)	40 PSF
SLEEPING ROOMS	30 PSF
GARAGE FLOOR	50 PSF/2000# POINT
ROOF LIVE LOAD	REDUCED GROUND SNOW LOAD
ATTIC AND TRUSS BOTTOM CHORD	20 PSF
- 3. ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD	40 PSF
FLAT ROOF SNOW LOAD	21 PSF
EXPOSURE FACTOR	1
IMPORTANCE FACTOR	1
- 4. WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED	90 MPH
WIND EXPOSURE	B
IMPORTANCE FACTOR	1
- 5. EARTHQUAKE LOAD DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY	B
SPECTRAL RESPONSE COEIF.	0.199
SITE CLASS	D
- 6. THE STABILITY OF THE STRUCTURE IS DEPENDANT UPON THE DIAPHRAM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION PHASE, INCLUDING BUT NOT LIMITED TO SOILS ON WALLS FROM BACK-FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTORS RESPONSIBILITY.

FOUNDATIONS/FOOTINGS:

- 1. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 36" BELOW FINISHED GRADE FOR FROST PROTECTION.
- 2. ALL FOOTINGS SHALL BE DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
- 3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED DURING THE CONSTRUCTION PHASE.

SLABS ON GRADE:

- 1. ALL SLABS ON GRADE SHALL CONSIST OF A 4 INCH (4") THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6" x 6"-W1.4XW1.4 WELDED WIRE FABRIC AND PLACED OVER A 6 MIL POLYETHYLENE VAPOR RETARDER AND 6 INCHES (6") OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED 6 INCHES AND TAPED. MAXIMUM AGGREGATE FILL SIZE OF GRANULAR BASE SHALL BE 1/2".
- 2. FILL UNDER SLABS IS LIMITED TO 8" COMPACTED SOIL OR 24" GRADED GRAVEL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORT SLABS (A.K.A. GRADE BEAMS).
- 3. PLACE CONCRETE PER ACI 302 GUIDLINES FOR PERPARING SUBGRADE, PLACING AND FINISHING CONCRETE SLABS.

WOOD FRAMING:

- 1. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE 'NATIONAL DESIGN SPECIFICATION' PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- 2. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO.2 OR BETTER.
- 3. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC-2015 CODE.
- 4. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS NOTED OTHERWISE.
- 5. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC-2015 CODE, THE NATIONAL DESIGN SPEC. FOR WOOD FRAMING, OR AS SHOWN IN DETAILED DRAWINGS.
- 6. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS U.N.O.
- 7. WOOD TRUSSES SHALL BE ENGINEERED FOR DESIGN, FABRICATION, AND ERECTION IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTES 'DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES' FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS. SEALED TRUSS DRAWINGS SHALL BE PROVIDED.
- 8.THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES, GRADE, SIZES, BEARING CONNECTIONS, CAPACITY OF CONNECTORS, AND SIZE/LOCATION OF ALL BRIDGING. ALL ENGINEERED FRAMING DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND.

WINDOWS AND DOORS:

- 1. ALL WINDOW NUMBERS NOTED ON DRAWINGS INDICATE MODEL NUMBERS FOR ANDERSON WINDOW UNITS U.N.O.
- 2. WINDOWS IN DOORS, SIDE LIGHTS, AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION 308 OF IRC-2015.

MOISTURE PROTECTION:

- 1. THE CONTRACTOR SHALL PROVIDE NON-CORROSIVE FLASHING ABOVE ALL WINDOW AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING TO BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, WOOD OR METAL COPINGS AND SILLS.
- 2. PROVIDE PERFORATED SOFFITS AT THE ROOF EAVES AND AT CONTINUOUS RIDGE VENTS AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

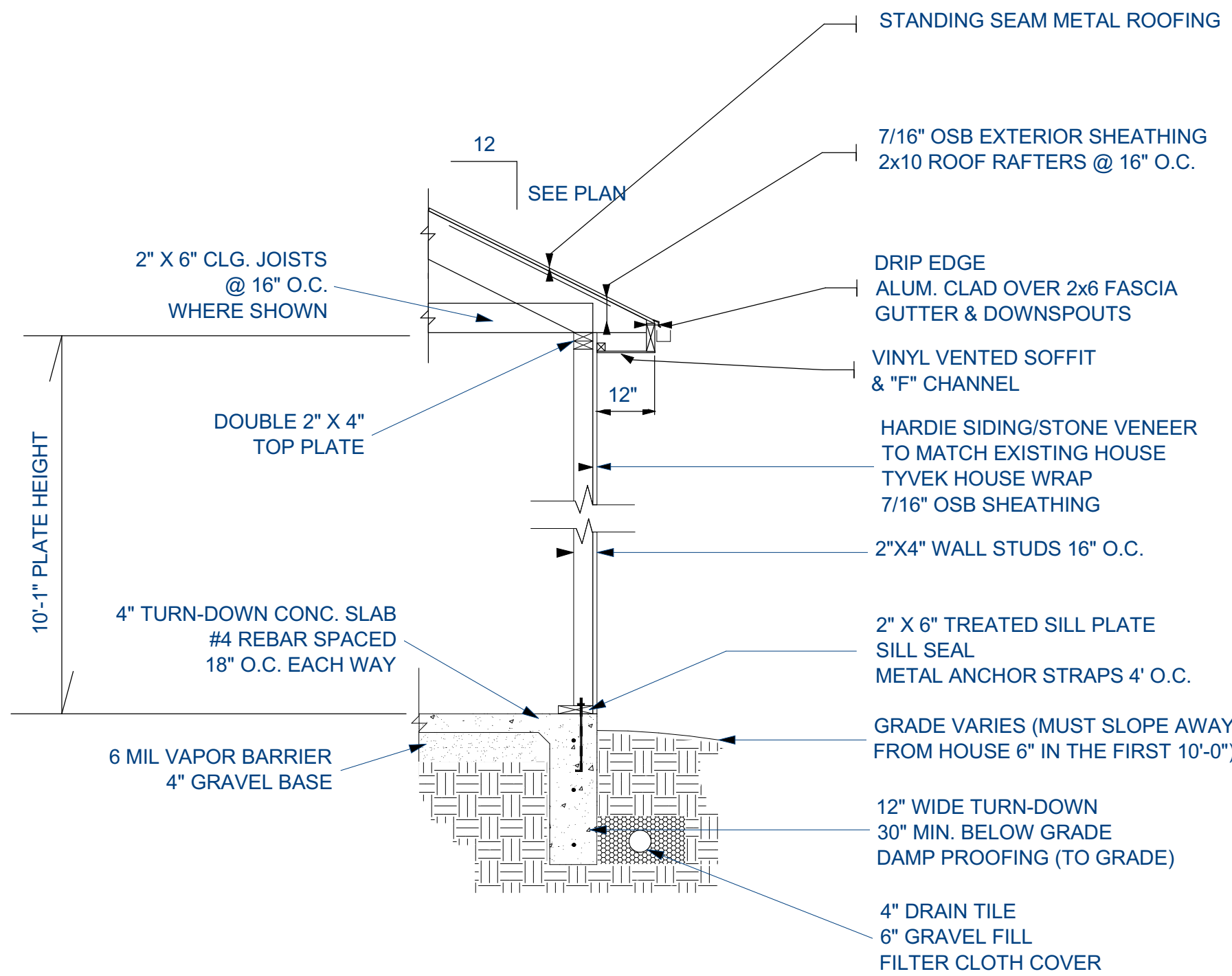
PROJECT SPECIFIC GENERAL NOTES:

- 1. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF SHEATHING.

EXTERIOR WALLS:

2x4 WOOD STUDS NOMINAL @ 16" O.C.

- 2. ALL STRUCTURAL WOOD FRAMING LUMBER TO BE SPF #2 GRADE OR BETTER U.N.O.
- 3. CONTRACTORS ARE RESPONSIBLE TO THOROUGHLY REVIEW ALL CONSTRUCTION DRAWINGS PRIOR TO START OF CONSTRUCTION PHASE AND TO REPORT ANY INCONSISTENCIES OR ERRORS TO THE DESIGNER FOR CLARIFICATION OR CORRECTION. IF THE CONTRACTOR MODIFIES OR DEVIATES FROM THESE PLANS FOR ANY REASON WITHOUT NOTIFYING LANCASTER CRAFTSMEN BUILDERS AND/OR THE RESPONSIBLE ENGINEERING SUB-CONTRACTED BY LANCASTER CRAFTSMEN BUILDERS THE PLAN CODE COMPLIANCE BECOMES THE CONTRACTOR RESPONSIBILITY.
- 4. SIZING AND SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS TO INCLUDE BUT NO LIMITED TO: MICRO-GLULAMS, PARALAMS, FLOOR AND ROOF TRUSS SYSTEMS, ARE TO BE ENGINEERED AND VERIFIED BY THE STRUCTURAL ENGINEER.
- 5. ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES THE TRUSS MANUFACTURER TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED LAYOUT DRAWINGS.



TYPICAL WALL DETAIL

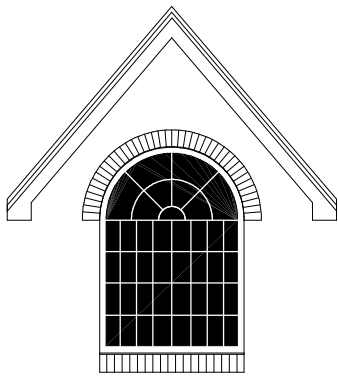
NOT TO SCALE

PROPOSED HOUSE PLANS

OFFICE RENOVATION

3120 OLD HAGERSTOWN RD. MIDDLETOWN, MD.

NOTES & DETAILS



LANCASTER
CRAFTSMEN
BUILDERS
We perceive Building as an art.

3120 OLD NATIONAL PIKE
MIDDLETOWN, MD 21769
(301)371-9101

Approved By:
Mark Lancaster
MHBR #58
Drawn By:
JWH

REV: 4-28-2021

REV: 5-13-2021

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